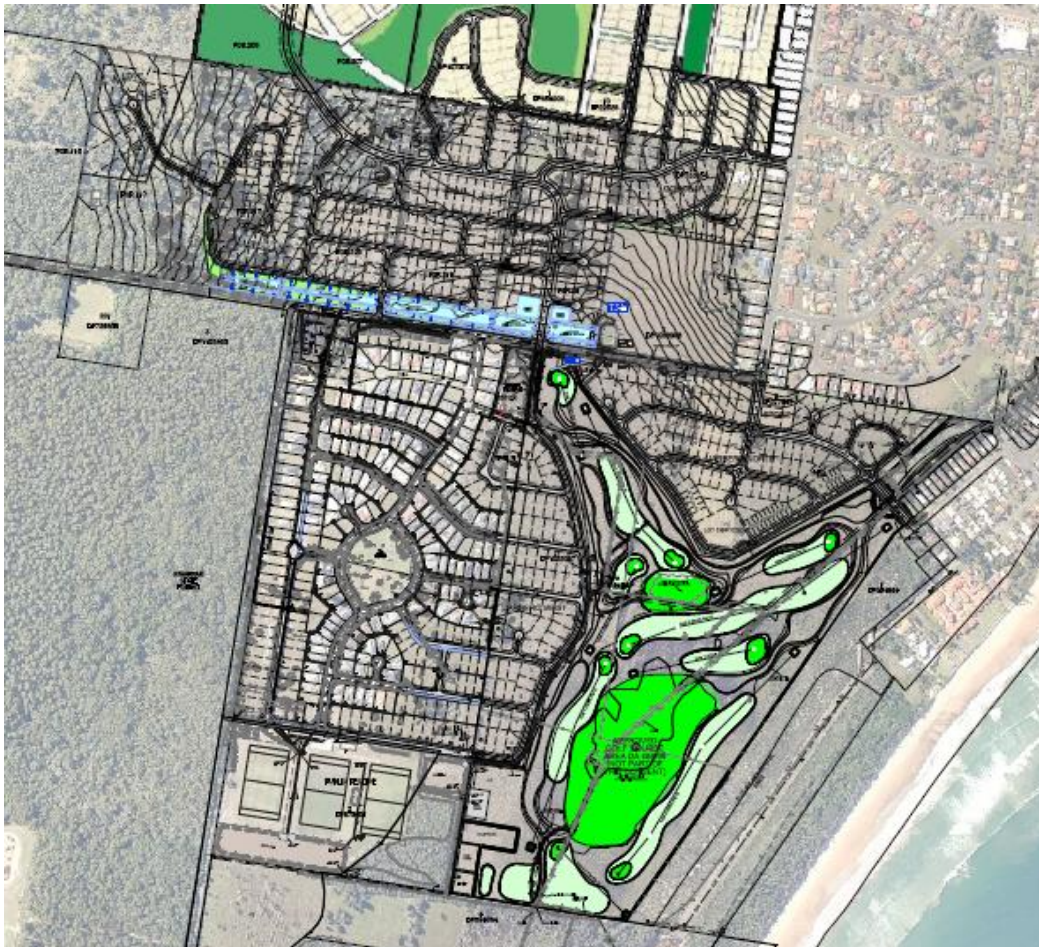


Consolidation of DCP Requirements

Clause 6.3 GTCC LEP 2010

Staged Development Application – Precinct 3 at Old Bar

Prepared for Old Bar Precinct 3 Development Syndicate



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1. Introduction

1.1 Purpose of Report

Development Application 439/2014 was lodged with Greater Taree City Council in June 2014 seeking staged development consent for a subdivision of land within Precinct 3 at Old Bar.

The Development Application was lodged with a large volume of information addressing relevant matters for the land, including specialist reports and detailed assessments of various planning and environmental issues affecting the land. At the meeting to seek determination of the application, it was asked if all matters required to be addressed in relation to Clause 6.3 of the *Greater Taree Local Environmental Plan 2010* had been addressed.

This report seeks to consolidate and supplement the information provided within the application to a summary of how these matters are addressed within the application.

1.2 Provisions of Clause 6.3 of DCP

The provisions of Clause 6.3 of the *Greater Taree Local Environmental Plan 2010* provide:

6.3 Development control plan

- (1) The objective of this clause is to ensure that development on land in an urban release area occurs in a logical and cost-effective manner, in accordance with a staging plan and only after a development control plan that includes specific controls has been prepared for the land.*
- (2) Development consent must not be granted for development on land in an urban release area unless a development control plan that provides for the matters specified in subclause (3) has been prepared for the land.*
- (3) The development control plan must provide for all of the following:*
 - (a) a staging plan for the timely and efficient release of urban land making provision for necessary infrastructure and sequencing,*
 - (b) an overall transport movement hierarchy showing the major circulation routes and connections to achieve a simple and safe movement system for private vehicles, public transport, pedestrians and cyclists,*
 - (c) an overall landscaping strategy for the protection and enhancement of riparian areas and remnant vegetation, including visually prominent locations, and detailed landscaping requirements for both the public and private domain,*

- (d) a network of passive and active recreational areas,*
 - (e) stormwater and water quality management controls,*
 - (f) amelioration of natural and environmental hazards, including bushfire, flooding and site contamination and, in relation to natural hazards, the safe occupation of, and the evacuation from, any land so affected,*
 - (g) detailed urban design controls for significant development sites,*
 - (h) measures to encourage higher density living around transport, open space and service nodes,*
 - (i) measures to accommodate and control appropriate neighbourhood commercial and retail uses,*
 - (j) suitably located public facilities and services, including provision for appropriate traffic management facilities and parking.*
- (4) Subclause (2) does not apply to any of the following development:*
- (a) a subdivision for the purpose of a realignment of boundaries that does not create additional lots,*
 - (b) a subdivision of land if any of the lots proposed to be created is to be reserved or dedicated for public open space, public roads or any other public or environmental protection purpose,*
 - (c) a subdivision of land in a zone in which the erection of structures is prohibited,*
 - (d) proposed development on land that is of a minor nature only, if the consent authority is of the opinion that the carrying out of the proposed development would be consistent with the objectives of the zone in which the land is situated.*

As the application has been lodged as a staged development application, which can be an alternative to providing the DCP required by Clause 6.3 of the LEP, Section 83C of the *Environmental Planning and Assessment Act 1979* provides:

83C Staged development applications as alternative to dcp required by environmental planning instruments

- (1) An environmental planning instrument cannot require the making of a staged development application before development is carried out.*
- (2) However, if an environmental planning instrument requires the preparation of a development control plan before any particular or kind of development is carried out on any land, that obligation may be satisfied by the making and approval of a staged development application in respect of that land.*
- (3) Any such staged development application is to contain the information required to be included in the development control plan by the environmental planning instrument or the regulations.*

Relevant to Subclause (3), this document consolidates and supplements the information submitted with the development application to show how the matters in 6.3 of the LEP have been addressed, and provides detail on:

- Staging Plans
- Transport and Movement
- Landscaping Strategies
- Recreational Networks
- Stormwater Controls
- Natural and Environmental Hazards
- Urban Design Controls
- Higher Density Living Areas
- Commercial and Retail Uses
- Public Services and Facilities

2. *Staging Plan*

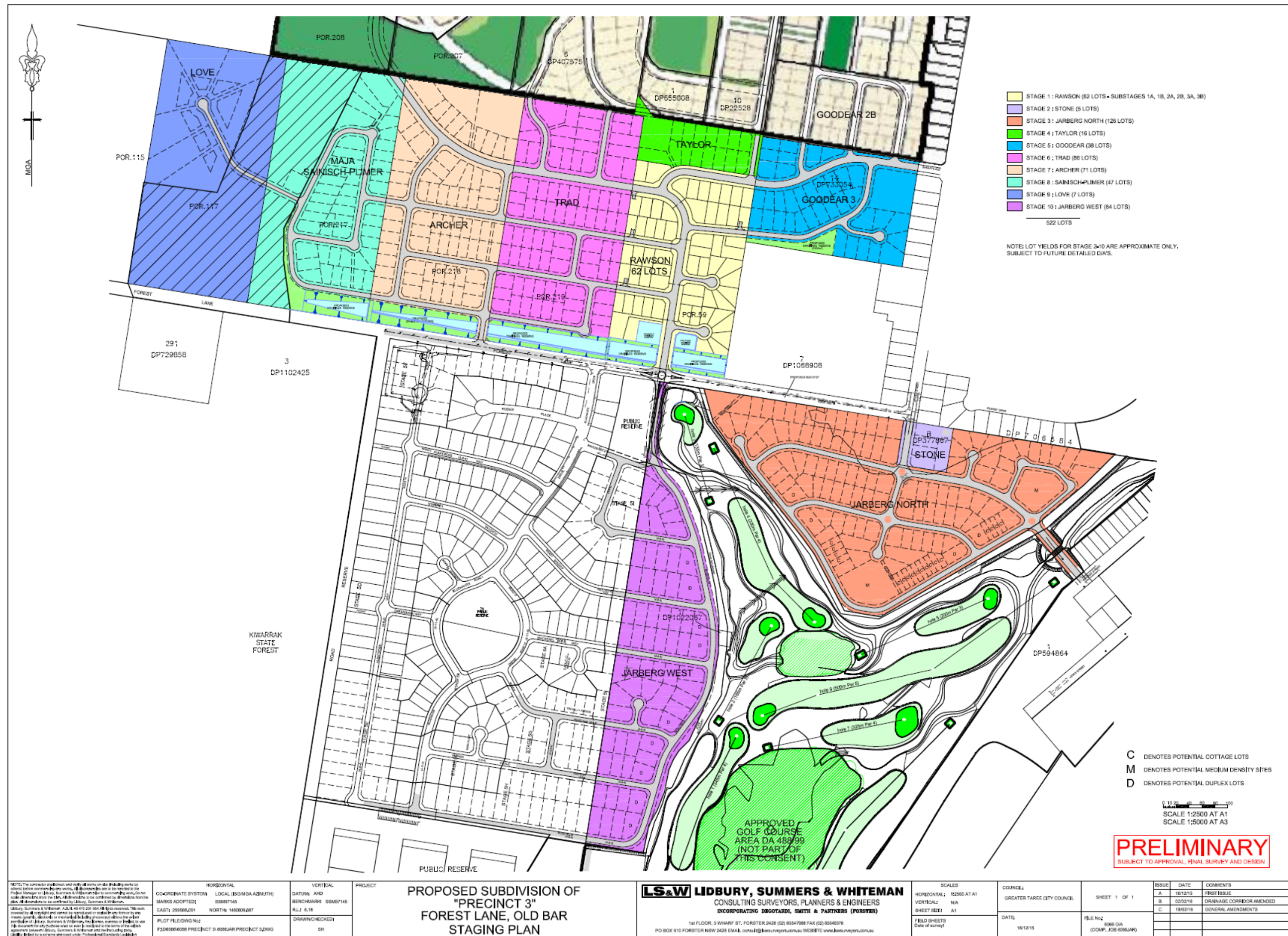
As detailed in the application, the proposal has ten (10) stages based upon different landholdings and areas within the precinct. The stages are as follows:

Stage Number	Property	Approximate Lot Yield
Stage 1	Lot 591 DP 1180317	62 Lots
Stage 2	Lot B DP 377867	5 Lots
Stage 3	Lot 2 DP 1022067 (North)	126 Lots
Stage 4	Lot 592 DP 1180317	16 Lots
Stage 5	Lot 14 DP 744054	38 Lots
Stage 6	Lot 219 DP 753149	86 Lots
Stage 7	Lot 218 DP 753149	71 Lots
Stage 8	Lot 217 DP 753149	47 Lots
Stage 9	Lot 117 DP 753149	7 Lots
Stage 10	Lot 2 DP 1022067 (West)	64 Lots

The lot yields in the table are indicative only, apart from Stage 1 for which detailed consent is sought. Final lot yields will be subject to detailed development applications which will determine the final yields.

The staging plan on the following page shows the staging which provides a logical sequencing for construction of drainage and road connections, as well as progressive connection of services etc.

A full scale copy of this plan has been included with the information submitted to Council.



3. *Transport and Movement*

3.1 Road Hierarchy

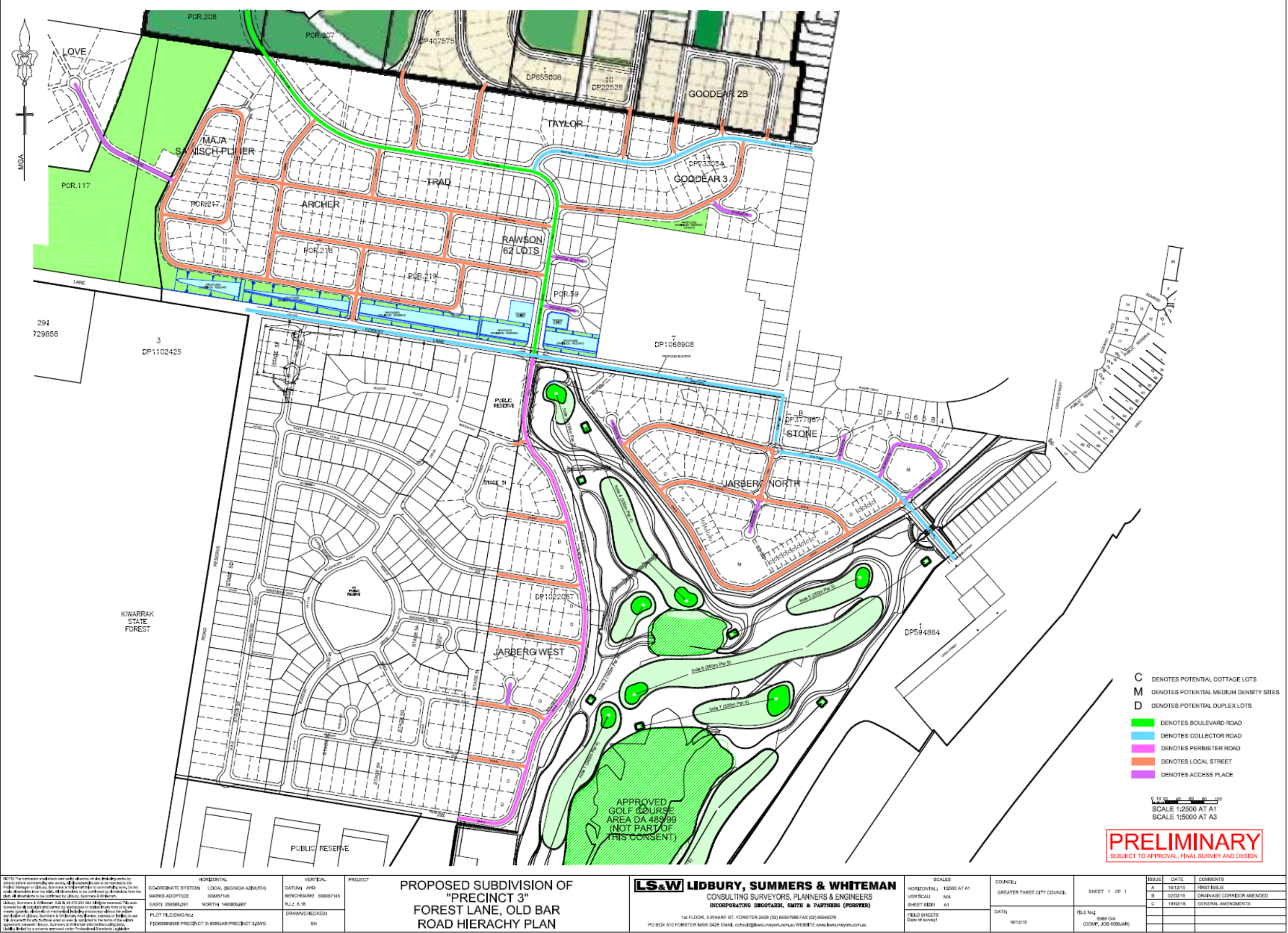
The road hierarchy is consistent with the hierarchy provided in the Precinct Planning Traffic Assessments and the provisions with *Greater Taree Development Control Plan 2010*.

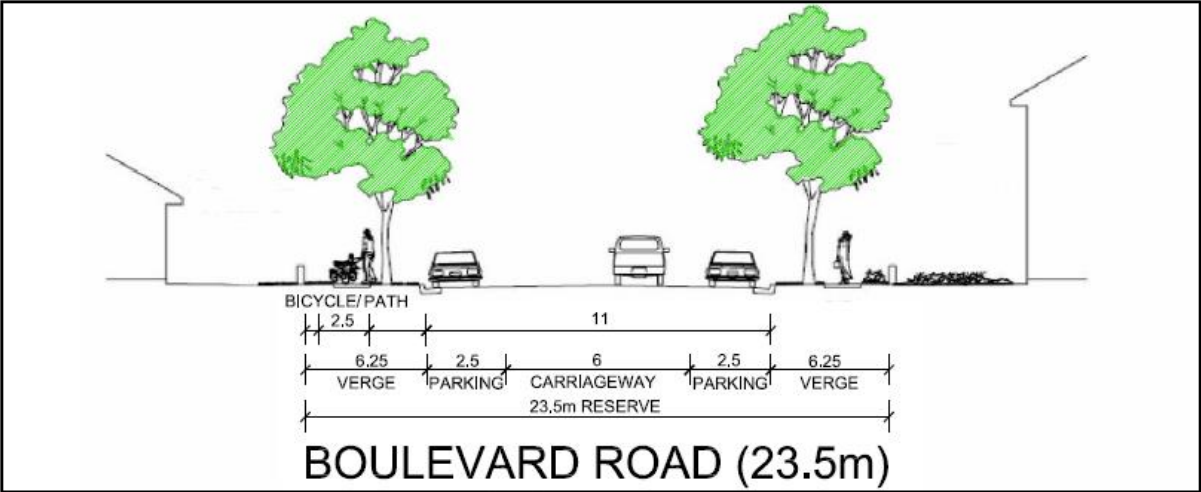
The road hierarchy is shown in the development concept plan and provides the following hierarchy of roads for the development as follows:

- Main Boulevarde Road – Connecting from Precinct 2B to the north, and Forest Lane. This is a wide (23.5m reserve) two lane, tree lined collector providing the main traffic link through the precinct.
- Collector Roads – These are provided through Stage 3, connecting to the east. Forest Lane also acts as a collector connecting with Wyden Street. A collector road is also provided through Stage 4 which connects the Boulevard Road with Wyden Street. The collectors are wide two way streets within a 20 metre reserve.
- Perimeter Roads – A Perimeter acts like a collector with one side developed a Perimeter Road exists along the western edge of Stage 10 connecting with the sports fields and Forest Lane
- Local Streets – These roads primarily provide access and frontage to the residential properties within the stage. They also connect across stages in a grid pattern enabling local street connection with the Boulevard and Collector Roads. These roads are two way streets within a 16 metre wide reserve.
- Access Places – These small cul-de-sacs provide access to residential properties where grid connection is not possible. These streets are smaller local streets with a 14 metre wide reserve.

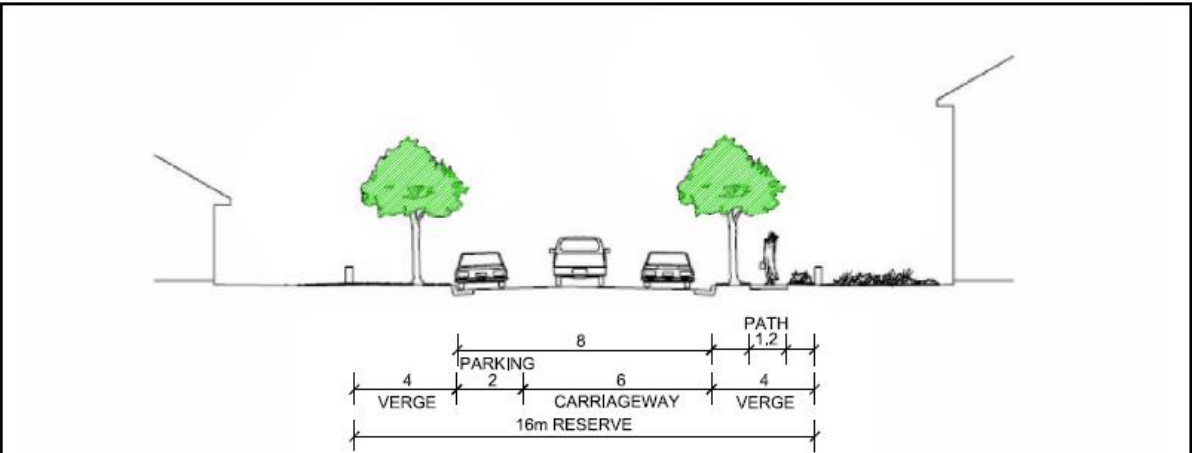
The location of the relevant road types is detailed in the road hierarchy plan and typical sections on the following pages.

Full scale plans have been provided with the information provided to Council.

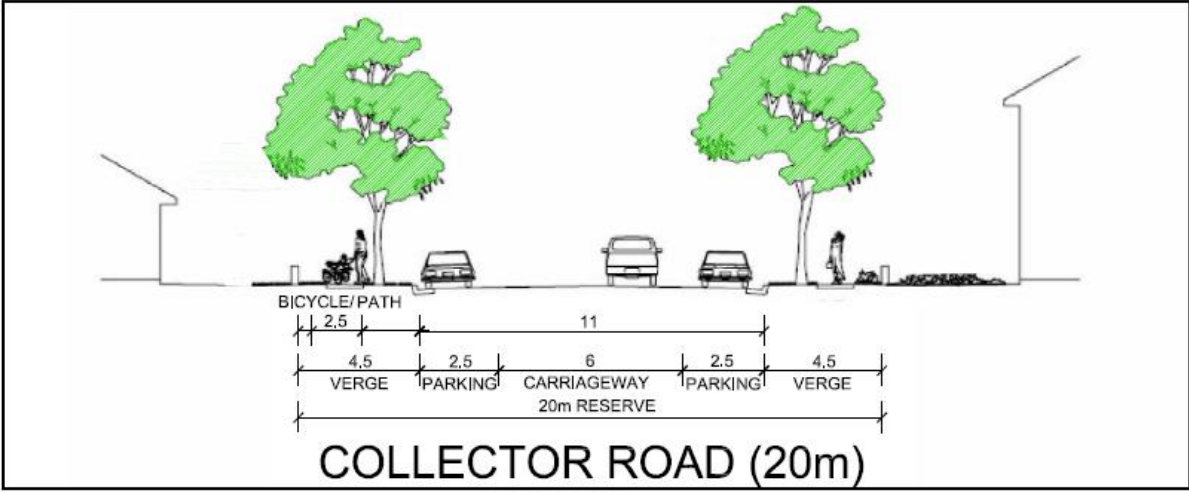




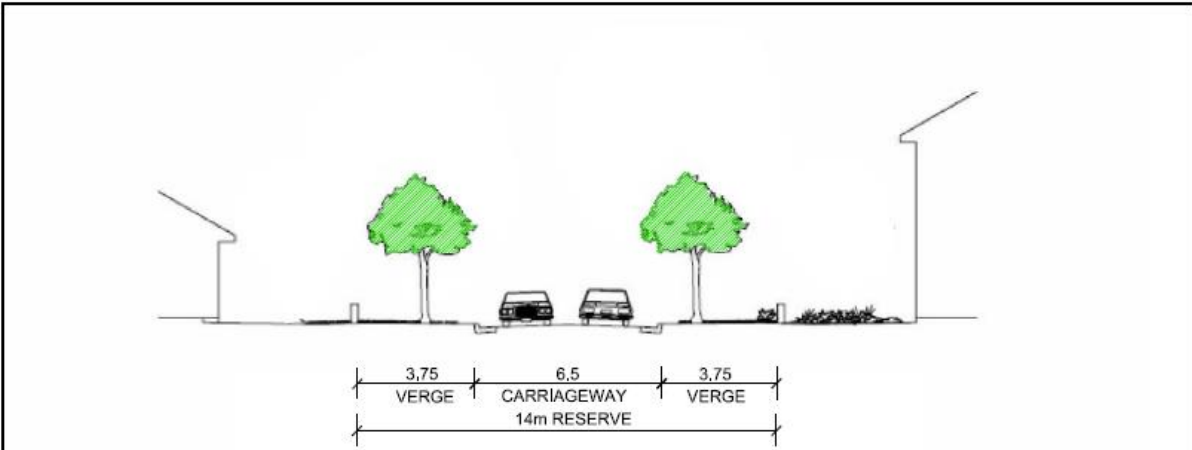
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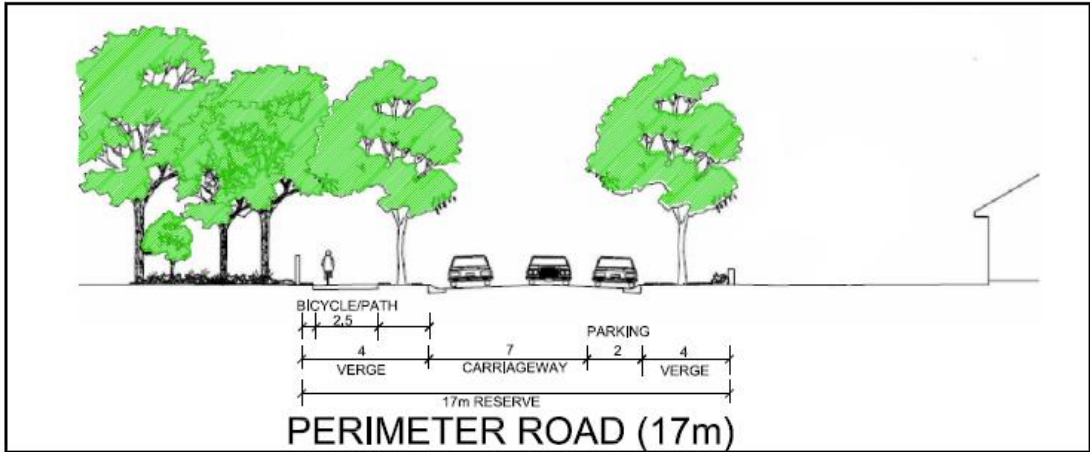
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NOTES:

1. 1.2m CONCRETE FOOTPATH AS PER AUSPEC (WHERE SERVICING 50 OR MORE LOTS)
2. STREET LIGHTING TO BE LOCATED ON THE LOT BOUNDARY SIDE OF ALL 1.2m FOOTPATHS
3. COLLECTOR & BOULEVARD ROADS DO NOT REQUIRE A 1.2m FOOTPATH - 2.5m BICYCLE PATH PROVIDED

NOTES: The contractor shall check and verify all dimensions and levels before commencing any work. All dimensions are to be measured to the centre of the road unless otherwise stated. All dimensions are to be measured to the centre of the road unless otherwise stated. All dimensions are to be measured to the centre of the road unless otherwise stated.		HORIZONTAL LOCAL (SINGAPORE) 1:1000 MARKS ADAPTED SHEET 1 OF 1		VERTICAL DATUM AND BENCHMARK R.L. 5.10		PROJECT PROPOSED SUBDIVISION OF "PRECINCT 3" FOREST LANE, OLD BAR TYPICAL STREET CROSS SECTIONS		LS&W LIDBURY, SUMMERS & WHITEMAN CONSULTING SURVEYORS, PLANNERS & ENGINEERS INCORPORATING DEBODARD, SMITH & PARTNERS (POB) 191 FLOOR, 3 WHARF ST, FORSTER 2428 (02) 65547988 FAX (02) 65549378 PO BOX 510 FORSTER NSW 2428 EMAIL: conrad@lssurveyors.com.au WEBSITE: www.lssurveyors.com.au		SCALES HORIZONTAL: NA VERTICAL: NA SHEET 822 A1 FIELD SHEETS DATE OF SURVEY		COUNCIL: GREATER TARRA CITY COUNCIL DATE: 18/12/15		SHEET 1 OF 1 FILE No.: 6088 OIA (COMP, JCS 6088/15)		ISSUE DATE COMMENTS A 18/12/15 FIRST ISSUE B 03/02/16 DRAINAGE CORRIDOR AMENDED C 18/02/16 GENERAL AMENDMENTS	
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3.2 Connectivity with Old Bar Road System

The development will connect with the existing Old Bar street system via connections with Forest Lane, Wyden Street, George Street and future Stage 2B Boulevard Road. Suitable connections will be available, regardless of whether Stage 2B proceeds before individual stages are developed.

3.3 Public Transport Route

The only public transport available in the area is via buses and taxis. Bus routes through the precinct will be provided via the collector roads as shown in the Footpath, Bicycleway and Bus Route Plan provided on the following page.

It is noted that public transport connection to the rest of Old Bar is facilitated by four (4) different access points being:

1. Via Forest Lane;
2. Via the feature boulevard connection with Stage 2B;
3. Via the Sheaffe Avenue Connection with Wyden Street; and
4. Via the new connection with George Street.

In the initial stages, connection is available by the existing bus route along Forest Lane and will be improved by the new boulevard connection with Sheaffe Avenue/Wyden Street and the connection with George Street in Stage 3. Each stage will be within walking distance to a bus route when developed.

3.4 Cycle/Pedestrian Network

The proposal provides pedestrian and cycle linkages throughout the precinct, including connection with adjoining neighbourhoods and facilities as shown in the Footpath, Bicycleway and Bus Route Plan provided on the following page.

A full scale copy of this plan is included in the information provided to Council.



4. Landscaping Strategy and Details

Subdivision of the land will provide landscaping treatment for public areas within the precinct including roads, drainage corridors and ecological corridors.

The Landscaping Concept Plan shows the general arrangements for landscaping of the site. A full scale copy of this plan is included with the information submitted to Council.

Public Streets

The public streets are treated with street tree planting as shown generally in the typical street sections. The Boulevard Collector and Perimeter Road include larger tree plantings, while local streets and access places provide for lower scale street tree plantings. Details of species will be provided for approval of Council with each stage construction certificate. As per the recommendations of the ecological assessment, the species used should include locally indigenous Eucalypts, Angophoras, Grevilleas, Banksias, Melaleucas, Acacias, Allocasuarinas and Callistemons (especially interflowering species which are useful for the Little Lorikeet, gliders, honeyeaters and Grey- Headed Flying Fox eg *Banksia integrifolia*); and fruiting rainforest species such as Brush Cherry (*Syzygium australe*), figs, *Acronychia spp*, *Cryptocarya spp*,

Drainage Corridors

The drainage detention basins and water quality reserve provide passive open space areas and include selected tree planting along the perimeters, as well as urban plantings of raingardens to provide attractive and interesting areas. The detention components will provide large grassed areas with trees creating a soft edge along the Forest Lane frontage.

The following photos show the treatments proposed for drainage areas:



Typical Dry Detention Basin



Bio retention Treatment options

Ecological Corridors

The areas of the site that are zoned E2 shall be conserved and improved for ecological values. Subdivision of the stages which include these areas shall include a vegetation management plan for the corridor which includes provisions for the effective management and enhancement of ecological values on this land. This should include weed management, regeneration etc.

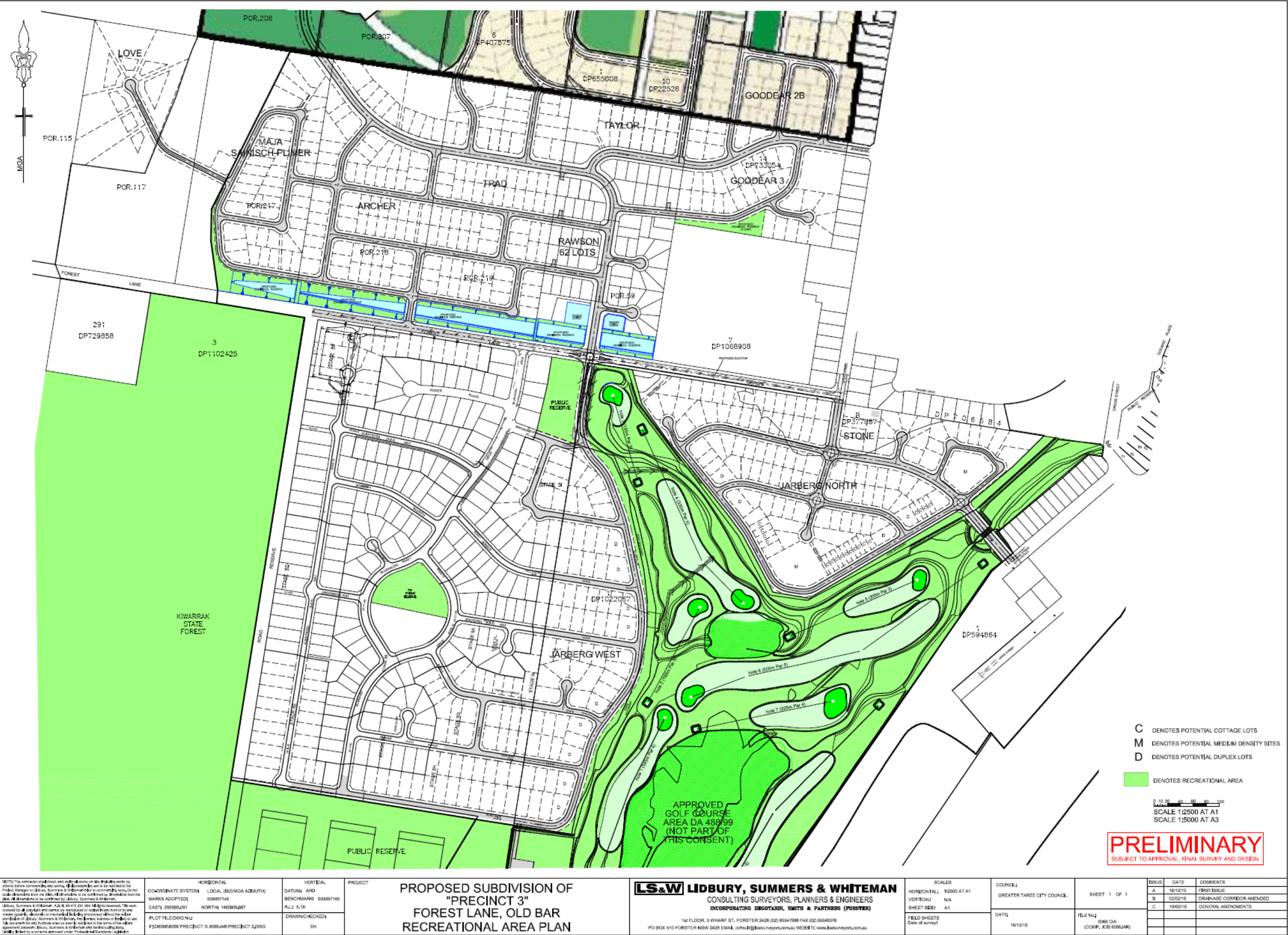
5. *Recreational Network*

Residents within the precinct will have access to the following recreational areas that are located within or in close proximity to the precinct:

- District Sportsfields;
- Kirrawak State Forest;
- Public parks /reserves in Ocean Blue Estate;
- Golf Course;
- Cycleway and passive space along perimeter roads;
- Racecourse Creek corridor passive space; and
- Dual Use Drainage reserves.

The proposed road, footpath and cycleway network provides sustainable transport connection between the recreation areas for residents of the precinct, as well as for the general public.

The areas of active and passive recreation available are shown in the 'Recreational Area Plan' shown on the following page. A full scale copy of this plan is included with the information submitted to Council.



6. Stormwater and Water Quality Management

Stormwater collected from the various stages will be treated within each stage to control stormwater flows and stormwater quality. The following key features are discussed below. The Subdivision Layout Plan includes designation of Stormwater conveyance and detention corridor and water treatment areas for Stage 1. Final Locations for water treatment areas in subsequent stages is subject to detailed design and will be determined in the individual applications for each stage.

Stormwater Quality – Stormwater from the urban areas, including roads will be directed to stormwater treatment features in the form of bio-retention raingardens or other approved stormwater quality treatment devices. Stage 1 includes locations for bio-retention rain gardens adjacent to the ‘entrance’ which will form a feature entry into the stage. Individual stages will need to show location of proposed water quality treatment devices and evidence compliance with water quality targets. The provision of water quality devices would impact upon lot yield of the future stages.

Stormwater Flows – To maintain the capacity of downstream drainage and to prevent local flooding, stormwater flows from the site will be managed through stormwater detention. The areas of the precinct north of Forest Lane need to restrict flows before reaching the culvert under Forest Lane to restrict flows to a rate suitable for that drainage infrastructure. To achieve this, provision has been made for detention basins running adjacent to Forest Lane which will control flows to pre-development flows for critical storms and events. Each stage fronting Forest Lane includes a detention basin which can manage flows for the individual stage and for collective flows generated by development of the precinct. Stage 5 will need to provide a separate detention basin to control flows into Stage 1. The stages south of Forest Lane (Stages 2, 3 and 10) will provide on-site management of stormwater flows, either within the golf course or over the area of the land identified for golf course. Detailed consent for Stage 1 includes detention basins located either side of the main boulevard connection with Forest Lane, accepting stormwater flows from the stormwater treatment devices, and bypassed flows in larger events.

Stormwater Conveyance – Stormwater from the areas north of Forest lane are conveyed via the detention drainage corridor alongside Forest Lane to the existing culvert under Forest Lane. At this point, the stormwater flows match existing flows and are conveyed in the same manner that currently exists. Below this culvert, stormwater spreads in a sheet flow over Lot 2 DP 1022067. This sheet flow will continue until Stages 3 and 10 are developed which will fill some areas where sheet flow may currently occur. At these stages conveyance and detention will be designed to meet stormwater control objectives. Detailed consent for Stage 1 conveys stormwater via the detention/drainage corridor along the Forest Lane frontage and discharges via the culvert under Forest Lane.

7. *Natural and Environmental Hazards*

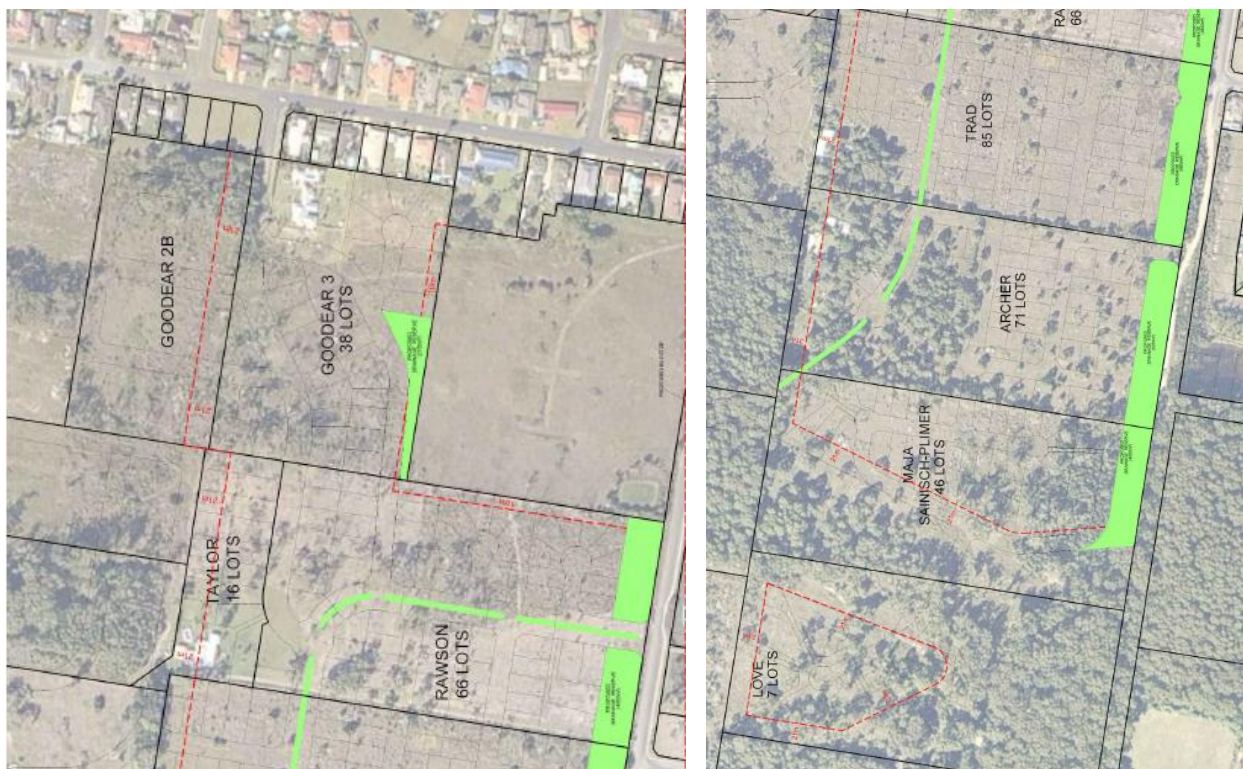
There are two (2) natural hazards identified for the precinct, being bushfire and flooding. The hazards are manageable within the precinct in a manner consistent with the guidelines of the NSW Rural Fire Service and Greater Taree City Council.

7.1 **Bushfire**

Parts of the precinct north of Forest Lane are mapped as bushfire prone, as well as a narrow strip in the south of the precinct. A Bushfire Assessment and Bushfire Safety Authority for the precinct has identified that Asset Protection Zones should be provided in the following manner.



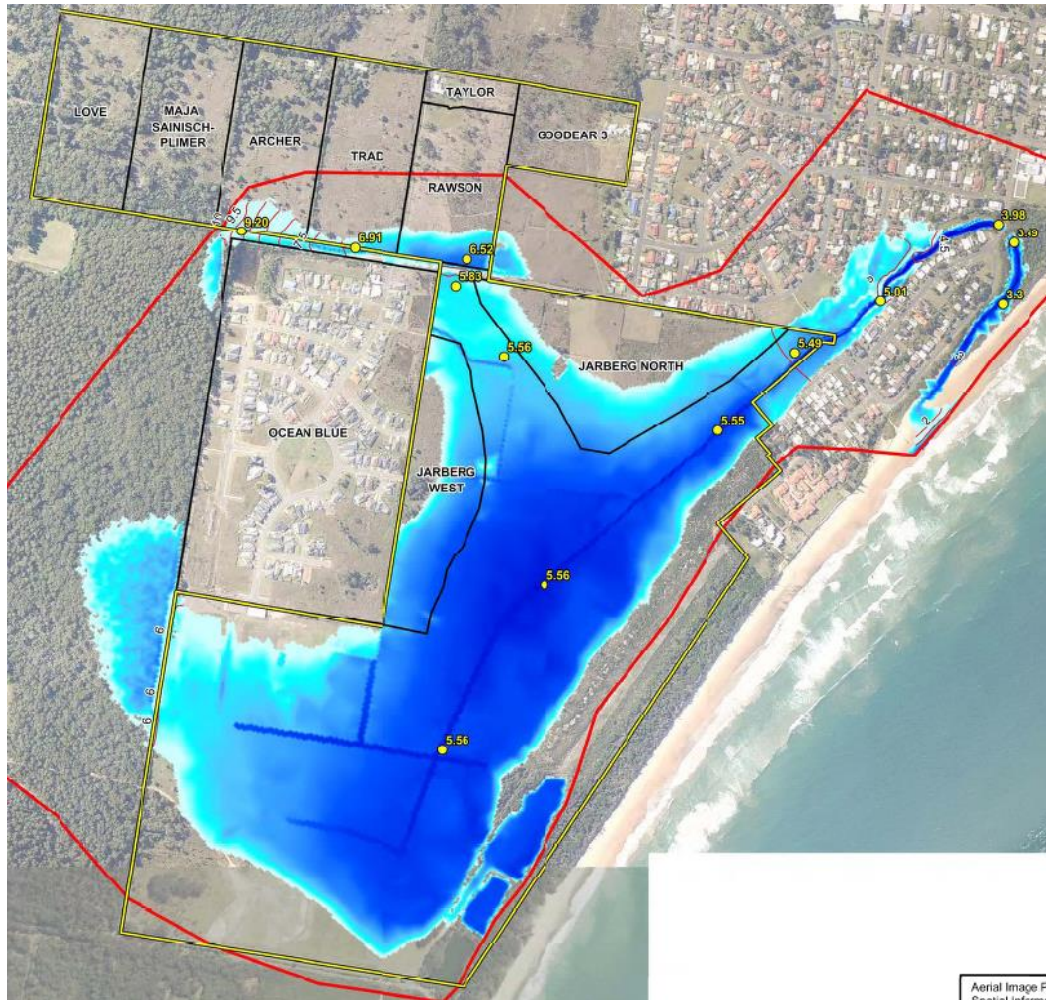
----- Asset Protection Zones (Australian Bushfire Assessment Consultants, 2014)



----- Asset Protection Zones (Australian Bushfire Assessment Consultants, 2014)

7.2 Flooding

Parts of the site are subject to flooding as shown in the following flood map from JWP.



The majority of the development is located on parts of the land that are not subject to flooding. Some parts of the development area, will be at flood fringes and assessment has determined that this will not increase flood impacts significantly and will meet Council's guidelines for development of flood prone areas.

8. Urban Design Controls for Significant Sites

There are no major development sites located within the precinct which require special urban design controls and the urban design controls for residential development will be those contained within Part H of *Greater Taree Development Control Plan 2010*.

As discussed below, there is some opportunity for higher density residential development in some areas, however, the use of Council's existing development controls will provide for these forms of development.

9. Higher Density Living Areas

The open space interface with the area of the approved golf course in Stages 3 and 10 provides opportunity for alternative higher density development forms, such as multiple dwelling (medium density) development, Duplex sites and cottage (attached row house dwellings) development. The updated plan includes concepts for the location for these forms as follows:

- Multiple Dwelling Sites – Stage 3 at southern end and eastern end adjacent to approved golf course and creek corridor.
- Large corner duplex sites – Stage 3 (x4) and Stage 10 (x9) at intersection of perimeter road and local streets.
- Cottage sites – Stage 3 (x19) along perimeter road fronting the approved golf course, either side of multiple dwelling sites. These would be developed in the manner of 'integrated housing'.

The development of these sites will also be in accordance with the relevant provisions of Part H of *Greater Taree Development Control Plan 2010*.

10. Commercial and Retail Uses

The precinct does not include any commercial or retail uses and the precinct is located within the catchment of the existing retail facilities for Old Bar, as well as the catchment for new district retail centre planned within the adjoining Precinct 2B.

11. Public Facilities and Services

Strategic Planning for the Old Bar Precinct did not identify any public services required within the precinct, such as schools etc.

The district sporting fields are located at the southern end of the precinct and the concept proposal provides for improved connection to these sporting facilities with improved public road connection, bus route connection and pedestrian/cycle facilities connecting the public to these facilities.

12. Conclusion

This document consolidates information presented in relation to the staged subdivision proposal which addresses the provisions of Clause 6.3 of *Greater Taree Local Environmental Plan 2010*.

The information presented is supported by plans which show the strategies methods various development outcomes within the precinct are to be achieved.